

IN RE: PETITION FOR ADMIN. VARIANCE
S/S Holly Neck Road, E of the
c/l of Goff Road
(2229 Holly Neck Road)
15th Election District
5th Councilmanic District

Darrell K. Lambert, et ux
Petitioners

* BEFORE THE
* DEPUTY ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 97-111-A
*

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Deputy Zoning Commissioner as a Petition for Administrative Variance for that property known as 2229 Holly Neck Road, located in the vicinity of Goff Road near Sue Creek in Holly Neck. The Petition was filed by the owners of the property, Darrell K. and Alice C. Lambert. The Petitioners seek relief from Section 1A04.3.B.3 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a side yard setback of 26 feet in lieu of the required 50 feet in an R.C. 5 zone for a proposed addition. The subject property and relief sought are more particularly described on the site plan submitted which was accepted and marked into evidence as Petitioner's Exhibit 1.

The Petitioners have filed the supporting affidavits as required by Section 26-127 (b)(1) of the Baltimore County Code. The subject property having been posted and there being no requests for public hearing, a decision shall be rendered based upon the documentation presented. Based upon the information available, there is no evidence in the file to indicate that the requested variance would adversely affect the health, safety or general welfare of the public and should therefore be granted. In the opinion of the Deputy Zoning Commissioner, the information, pictures, and affidavits submitted provide sufficient facts that comply with the requirements of Section 307.1 of the B.C.Z.R. Furthermore, strict compliance

ORDER RECEIVED FOR FILING

Date

By

MICROFILMED

with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

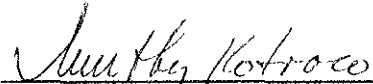
This property is located within the Chesapeake Bay Critical Areas and as such, is subject to compliance with any recommendations made by the Department of Environmental Protection and Resource Management (DEPRM), pursuant to Section 500.14 of the Baltimore County Zoning Regulations (B.C.Z.R.). As of the date of this Order, no comment had been received from DEPRM concerning its review of this project. Therefore, the relief granted herein shall be conditioned upon Petitioner's compliance with any recommendations made by DEPRM upon completion of their review.

Pursuant to the posting of the property and the provisions of both the Baltimore County Code and the B.C.Z.R. having been met, and for the reasons set forth above, the relief requested should be granted.

THEREFORE, IT IS ORDERED by the Deputy Zoning Commissioner for Baltimore County this 14th day of October, 1996 that the Petition for Administrative Variance seeking relief from Section 1A04.3.B.3 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a side yard setback of 26 feet in lieu of the required 50 feet in an R.C. 5 zone for a proposed addition, in accordance with Petitioner's Exhibit 1, be and is hereby GRANTED, subject to the following restrictions:

- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the relief granted herein shall be rescinded.
- 2) Compliance with any recommendations made by the Department of Environmental Protection and Resource Management (DEPRM) as noted above.

3) When applying for a building permit, the site plan filed must reference this case and set forth and address the restrictions of this Order.


TIMOTHY M. KOTROCO
Deputy Zoning Commissioner
for Baltimore County

TMK:bjs

ORDER RECEIVED FOR FILING
Date 11/17/96
By [Signature]



Baltimore County
Zoning Commissioner
Office of Planning and Zoning

Suite 112, Courthouse
400 Washington Avenue
Towson, Maryland 21204
(410) 887-4386

October 14, 1996

Mr. & Mrs. Darrell K. Lambert
2229 Holly Neck Road
Baltimore, Maryland 21221

RE: PETITION FOR ADMINISTRATIVE VARIANCE
S/S Holly Neck Road, E of the c/l of Goff Road
(2229 Holly Neck Road)
15th Election District - 5th Councilmanic District
Darrell K. Lambert, et ux - Petitioners
Case No. 97-111-A

Dear Mr. & Mrs. Lambert:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Administrative Variance has been granted in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Permits and Development Management Office at 887-3391.

Very truly yours,

A handwritten signature in cursive script, reading "Timothy Kotroco".

TIMOTHY M. KOTROCO
Deputy Zoning Commissioner
for Baltimore County

TMK:bjs

cc: Chesapeake Bay Critical Areas Commission
45 Calvert Street, 2nd Floor, Annapolis, Md. 21401

DEPRM; People's Counsel

File

ENCLOSURE



Petition for Administrative Variance

97-111-A

to the Zoning Commissioner of Baltimore County

for the property located at

2229 Hollyneck Rd Balto. MD 21221

which is presently zoned

RC 5

This Petition shall be filed with the Office of Zoning Administration & Development Management.

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3.B.3

To allow a side yard setback of 26 ft. (for a proposed addition) in lieu of the minimum required 50 ft.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County; for the following reasons: (Indicate hardship or practical difficulty) SEE ATTACHED LETTER

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

(Type or Print Name)

Signature

Address

City

State

Zipcode

Attorney for Petitioner:

(Type or Print Name)

Signature

Address

Phone No.

City

State

Zipcode

Legal Owner(s):

(Type or Print Name)

Signature

(Type or Print Name)

Signature

Address

City

State

Zipcode

Name, Address and phone number of representative to be contacted, if:

Name

Address

Phone No.

A Public Hearing having been requested and/or found to be required, it is ordered by the Zoning Commissioner of Baltimore County, this ___ day of ___, 19 ___, that the subject matter of this petition be set for a public hearing, advertised, as required by the Zoning Regulations of Baltimore County, in two newspapers of general circulation throughout Baltimore County, and that the property be reposted.

Zoning Commissioner of Baltimore County

REVIEWED BY: [Signature]

DATE: 9-13-96

ESTIMATED POSTING DATE: 9/22



Printed with Soybean Ink
on Recycled Paper

MICROFILMED

118

ORDER RECEIVED FOR FILING

Date

By

Affidavit in support of Administrative Variance

97-111-A

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows:

That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) is/are competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) does/do presently reside at 2229 Hollyneck Rd
address
Baltimore, MD 21221
City State Zip Code

That based upon personal knowledge, the following are the facts upon which I/we base the request for an Administrative Variance at the above address: (indicate hardship or practical difficulty)

See Attached letter

That Affiant(s) acknowledge(s) that if a protest is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Alice C. Weber
(signature)
Alice C. Weber
(type or print name)



Darrell K. Lambert
(signature)
Darrell K. Lambert
(type or print name)

STATE OF MARYLAND, COUNTY OF BALTIMORE, to wit:

I HEREBY CERTIFY, this 31ST day of AUGUST, 1996, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

DARRELL K LAMBERT AND ALICE C. LAMBERT (NEE WEBER)

the Affiants(s) herein, personally known or satisfactorily identified to me as such Affiantt(s), and made oath in due form of law that the matters and facts hereinabove set forth are true and correct to the best of his/her/their knowledge and belief.

AS WITNESS my hand and Notarial Seal.

8/31/96
date

Sherman C. Nichols
NOTARY PUBLIC

My Commission Expires: 3/1/98

August 31, 1996

97-111-A

TO WHOM IT MAY CONCERN:

We have lived in our home since 1988. When we purchased our home, which is 744 sq ft, we planned to add on at a later time when we were financially able.

We now have a 3 year old daughter who lives with us and a 12 year old niece whom we help to raise. We have a small living room, kitchen, 1 bathroom, 1 bedroom home on a 1 acre lot. It does not have an attic or basement for additional space. Our daughter shares a bedroom with us and when our niece stays with us, she sleeps on the sofa bed in the living room. We all need some extra space and privacy. Also in the near future when we have more room, we are planning to have more children.

We love our neighborhood and this is where we choose to raise our family. Both of our extended families live close by. Our neighbors are wonderful people and our children play together everyday. This is where we plan to stay and raise our family and this is also the reason for the variance request.

Although we have a acre of land, our home is situated on the front of our lot. The front half of our lot is smaller in width and we are in need of a 26 foot variance from the east side of our property line. To best utilize the layout of our existing home and the location of the house on our lot, makes it most practical to add on to the house at this location. We ask for your thoughtful consideration in this matter and we thank you for taking the time to read this letter.

Sincerely yours,

Alice C. Lambert

Alice C. Lambert (nee Weber)

ORDER FOR FILING

Date

By

MICROFILMED

118

Zoning Description

Zoning Description for 2229 Hollyneck Road; Baltimore, MD
21221.

Beginning at a point on the South side of Hollyneck Road
which is 60 ft of right-of-way width wide at the distance of
717 feet east of the centerline of the nearest improved
intersecting street - Goff Road, which is 50 ft wide. Being
lot #2 in the subdivision of Walter Ison Property as recorded
in Baltimore County Deed, Liber #6173, Folio #088, containing
1 acre. Also known as 2229 Hollyneck Road and located in the
15 Election District, 5 Councilmanic District.

97-111-A

RECEIVED
JAN 10 1997

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

Item 118
K

072063

97-111-A

DATE 9-13-96 ACCOUNT R-001-6150

RN+
SIGN

AMOUNT \$ 85.00

RECEIVED
FROM:

Weber & Lambert, Owners of
#019 - Residential Variance (adding filing fee - 50.00)
#080 - Sign & Posting 35.00

FOR:

01A00N0468MICHRC

Site: 2229 H/BA/CO/10:30 AM 9-13-96

#35005
MICROFILMED

DISTRIBUTION
WHITE - CASHIER

PINK - AGENCY

VALIDATION OR SIGNATURE OF CASHIER
YELLOW - CUSTOMER

CERTIFICATE OF POSTING

RE: Case No.: 97-111-A

Petitioner/Developer: Alice

Weber & Darrell Lambert

Date of Hearing/Closing: 10-20-96

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, MD 21204

Attention: Ms. Gwendolyn Stephens

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law
were posted conspicuously on the property located at

2229 Holly Neck Rd

The sign(s) were posted on _____
(Month, Day, Year)

Sincerely,

(Signature of Sign Poster and Date)

MARK GAWEL
(Printed Name)

(Address)

(City, State, Zip Code)

X 3351
(Telephone Number)



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

September 25, 1996

NOTICE OF CASE NUMBER ASSIGNMENT

Re: CASE NUMBER: 97-111-A (Item 118)
2229 Holly Neck Road
S/S Holly Neck Road, E of c/l Goff Road
15th Election District - 5th Councilmanic
Legal Owner(s): Alice C. Weber and Darrell K. Lambert

Please be advised that your Petition for Administrative Zoning Variance has been assigned the above case number. Contact made with this office regarding the status of this case should reference the case number and be directed to 887-3391. This notice also serves as a refresher regarding the administrative process.

- 1) Your property will be posted on or before September 22, 1996. The closing date (October 7, 1996) is the deadline for a neighbor to file a formal request for a public hearing. After the closing date, the file will be reviewed by the Zoning or Deputy Zoning Commissioner. They may (a) grant the requested relief, (b) deny the requested relief, or (c) demand that the matter be set in for a public hearing. You will receive written notification as to whether or not your petition has been granted, denied, or will go to public hearing.
- 2) In cases requiring public hearing (whether due to a neighbor's formal request or by Order of the Commissioner), the property will be reposted and notice of the hearing will appear in a Baltimore County newspaper. Charges related to the reposting and newspaper advertising are payable by the petitioner(s).
- 3) Please be advised that you must return the sign and post to this office. They may be returned after the closing date. Failure to return the sign and post will result in a \$60.00 charge.

PLEASE UNDERSTAND THAT ON THE DATE AFTER THE POSTING PERIOD, THE PROCESS IS NOT COMPLETE. THE FILE MUST GO THROUGH FINAL REVIEW. ORDERS ARE NOT AVAILABLE FOR DISTRIBUTION VIA PICK-UP. WHEN READY, THE ORDER WILL BE FORWARDED TO YOU VIA FIRST CLASS MAIL.

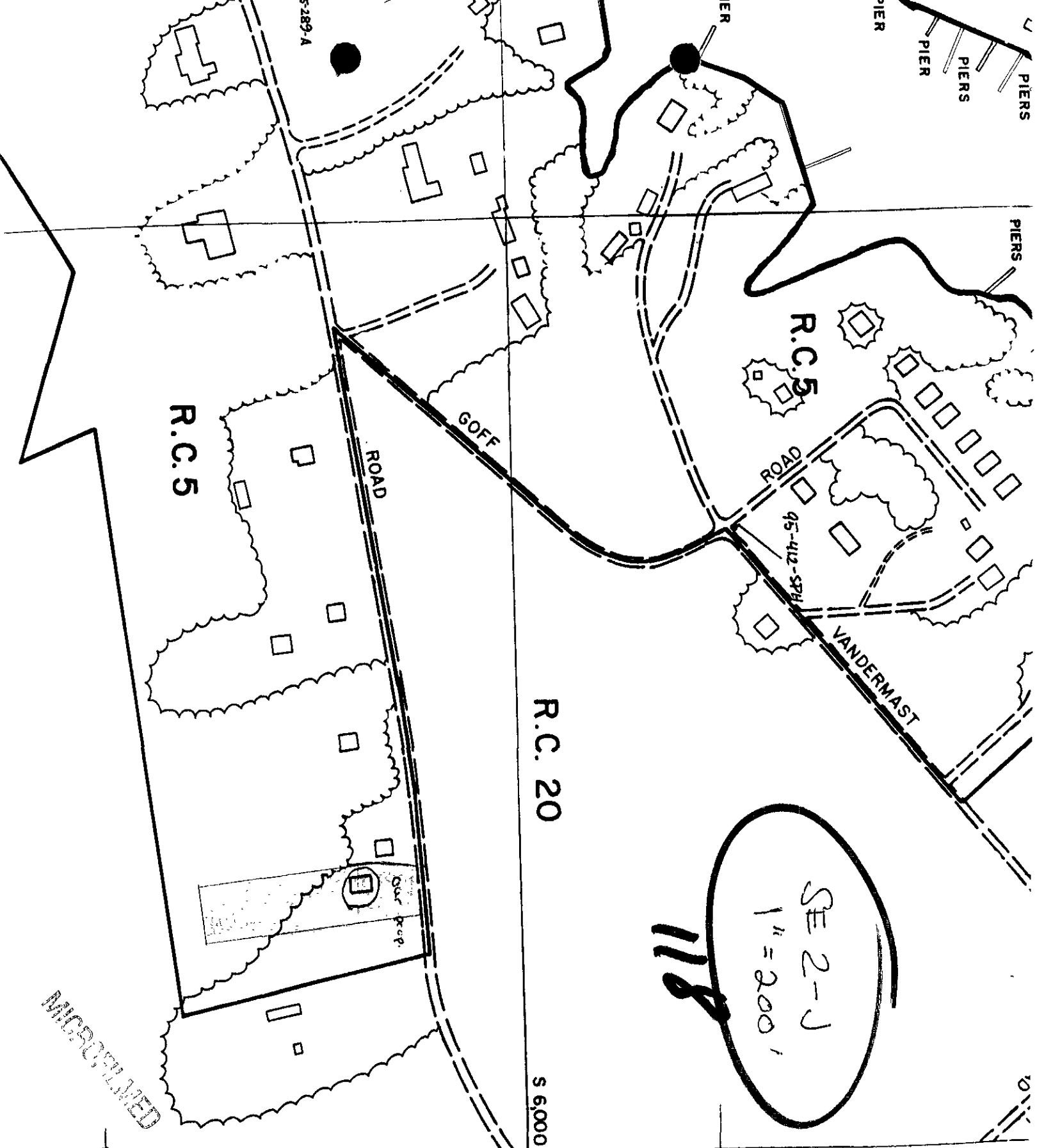
A handwritten signature in cursive script, appearing to read "Arnold Jablon".

Arnold Jablon
Director

cc: Alice C. Weber Lambert

MICROFILMED





(SHEET S.E.2 -K)

97-111-A

Zoning map



NEXT TO MIDDLESEX SHOPPING CENTER
1024 EASTERN BLVD. • ESSEX, MARYLAND 21221
(410) 574-3342 • FAX (410) 574-2287
1-800-330-9908

*Barcel Landport
& Hollis Reed &
a. and area
x-7465
Quality
Photofinishing*

97-111-A

Photos # 118

*Alice & Dorcel Lambert
2020 Hollyweird
Dorcel, MO 21221*

☐ FILE LETTER 37995¹

DATE 8-27-96

TWIN CHECK

NAME Lambert, Alice

ADDRESS _____

CITY _____ PHONE 574-7665

TIME IN _____ TIME PROMISED 10

KODAK	FUJI	KONICA	3M	OTHER	SLIDES	MOVIES
800						

FILM SIZE	EXPOSURES	REPRINTS AND ENLARGEMENTS	
<input type="checkbox"/> DISC	<input checked="" type="checkbox"/> 12	NO. OF NEG STRIPS _____	QUAN NEG NO
<input type="checkbox"/> 110	<input type="checkbox"/> 15	<input type="checkbox"/> REPRINTS	
<input type="checkbox"/> 126	<input type="checkbox"/> 20	<input type="checkbox"/> 5 x 7	
<input checked="" type="checkbox"/> 135	<input type="checkbox"/> 24	<input type="checkbox"/> 8 x 10	
	<input type="checkbox"/> 36	<input type="checkbox"/> 8 x 12	
OTHER _____	OTHER _____	<input type="checkbox"/> 11 x 14	
3 1/2 x 5	4 x 6	5 x 7	NO OF PRINTS
			12

SPECIAL INSTRUCTIONS

50 DIS
37 3

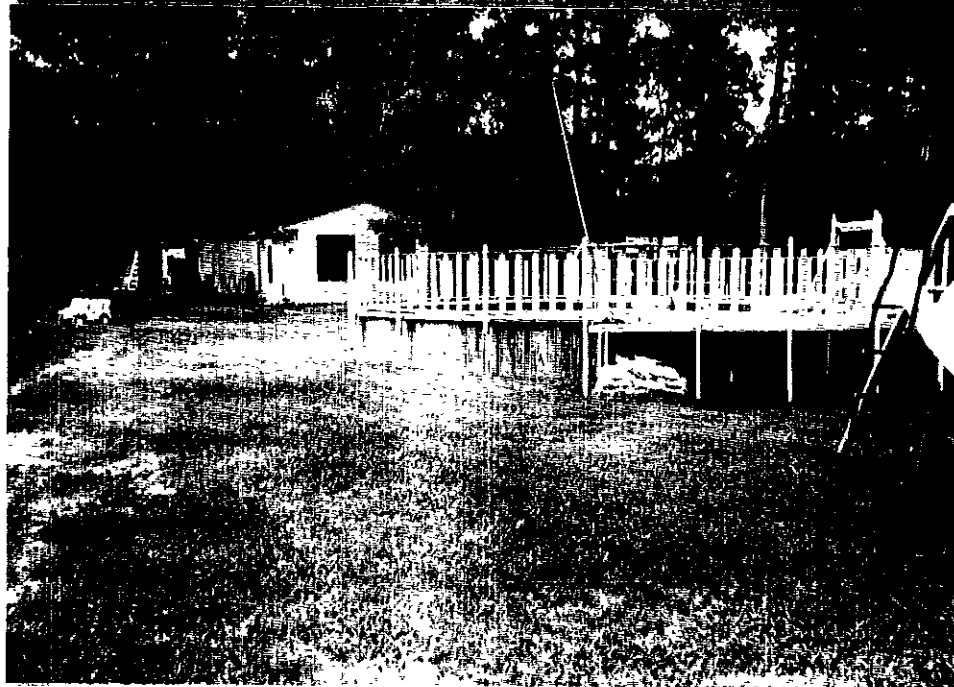
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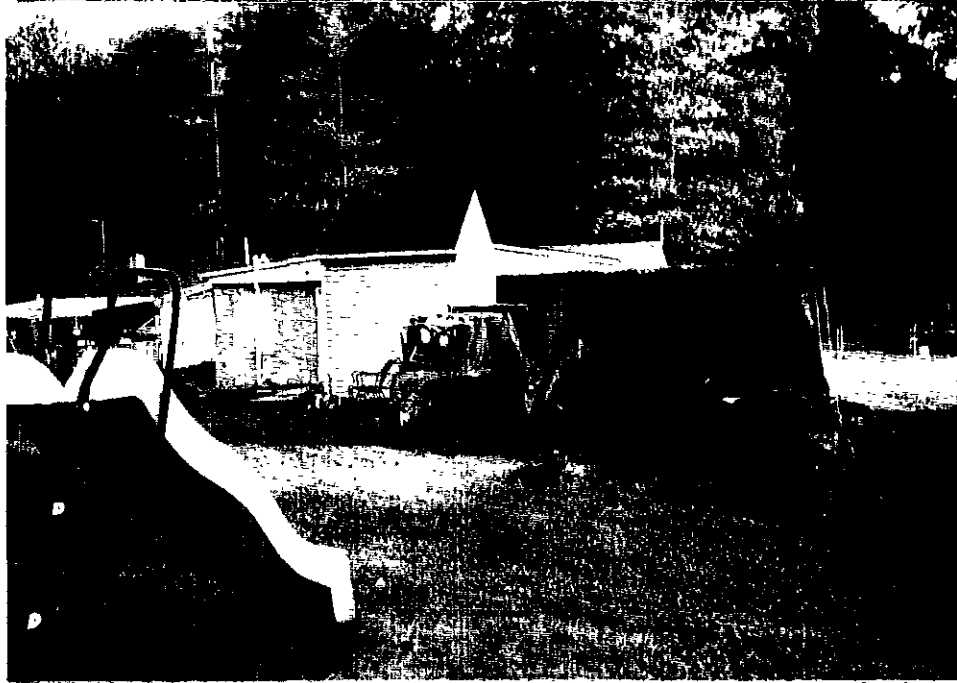


LAB USE ONLY	
@	2.79
@	3.60
@	
@	
@	
@	
@	6.39
TAX	
TOTAL	

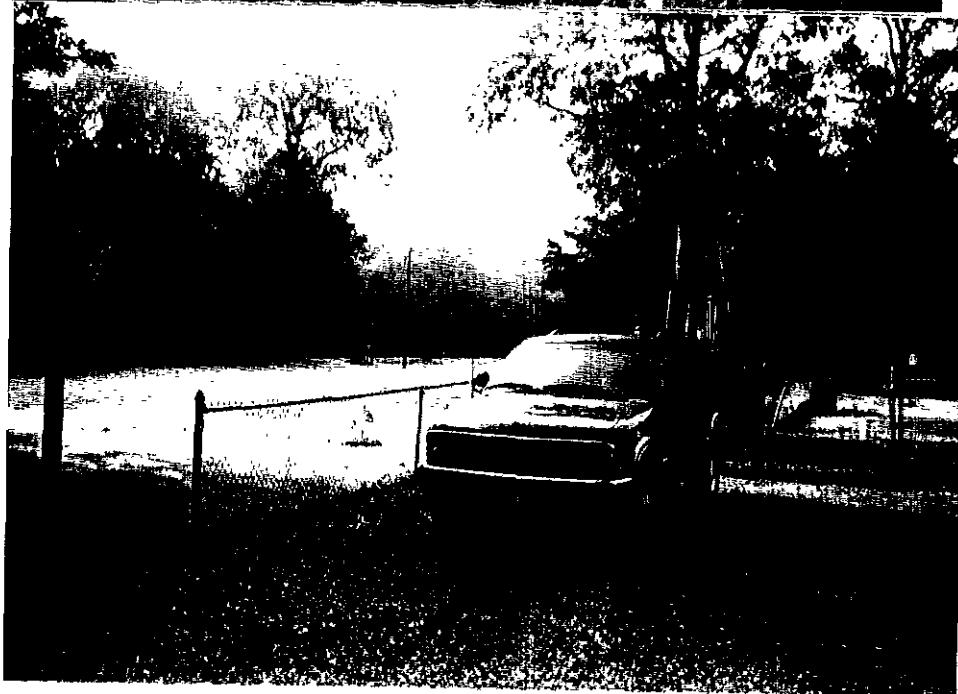
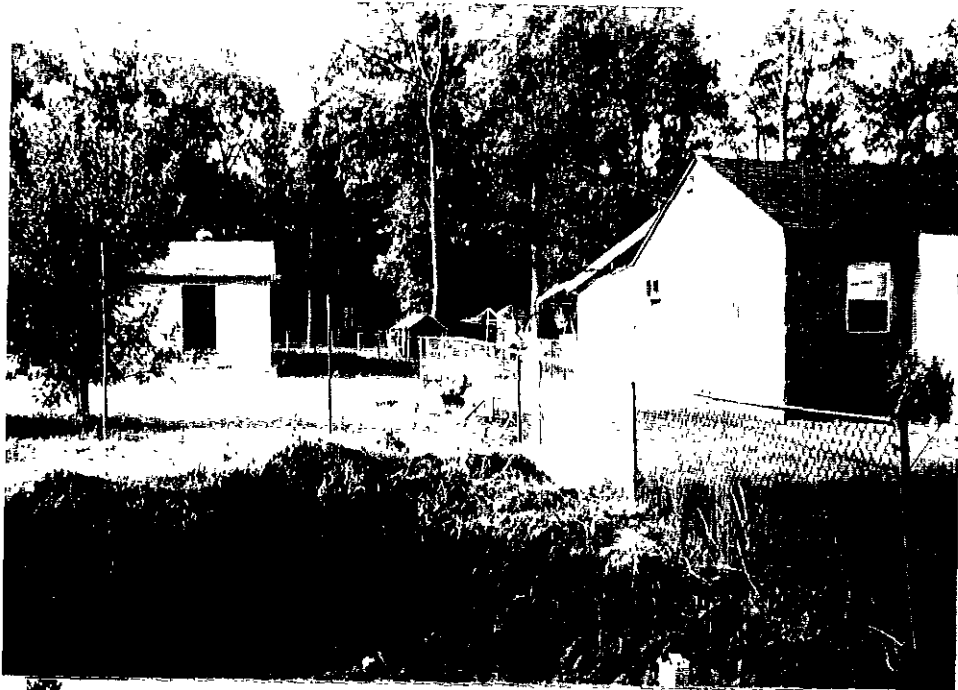












97-111-A

North
 date: 9-6-96
 Prepared by: Darrell Lambert
PLAN 1" = 50'

No. 2331
 Vacant Lot
 Kenneth A. Brazier, SR.
 Mathilda Miller
 Tax# 1516601190

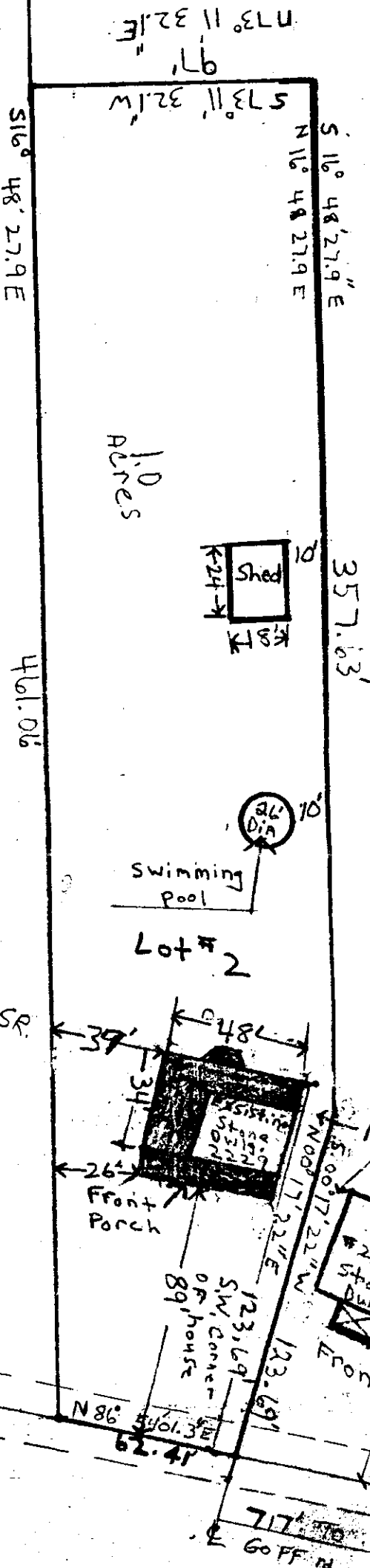
Front of Prop.
 Lot # 3

Hollyneck Rd.
 Prop. 60' R/W

5.18
ACRES

1.0
ACRES

3.54
ACRES



Reviewed by: JRF/ [signature]
 Item # **118**

OWNERS:

Alice & Darrell Lambert
 2229 Hollyneck Rd.
 Balto. Md. 21221
 Deed: 8034/354 MAP 105,
 Grid: 3 Parcel: 146
 Group 82
 FEN# MAP # 445 Flood Zone

Location Information

Councilmanic District 5th
 Election District 15
 Zoning Map # SE, 2-1
 Elevation = 21.8 ft.

Zoning **R-C-5**

Lot size **1.0** 43,560 sq. ft.
 acreage Square Feet

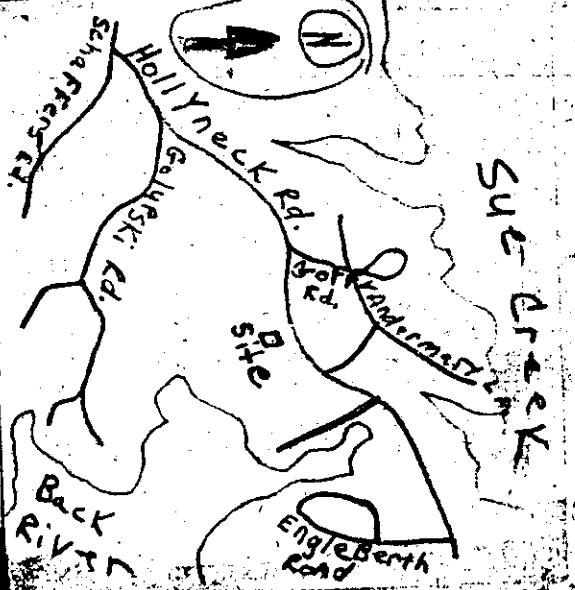
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Water: ☒ Public ☐ Private

Sewer: ☒ Public ☐ Private

Chesapeake Bay Initial Area ☒ Yes ☐ No

Prior Zoning case # 83-24 hearings:



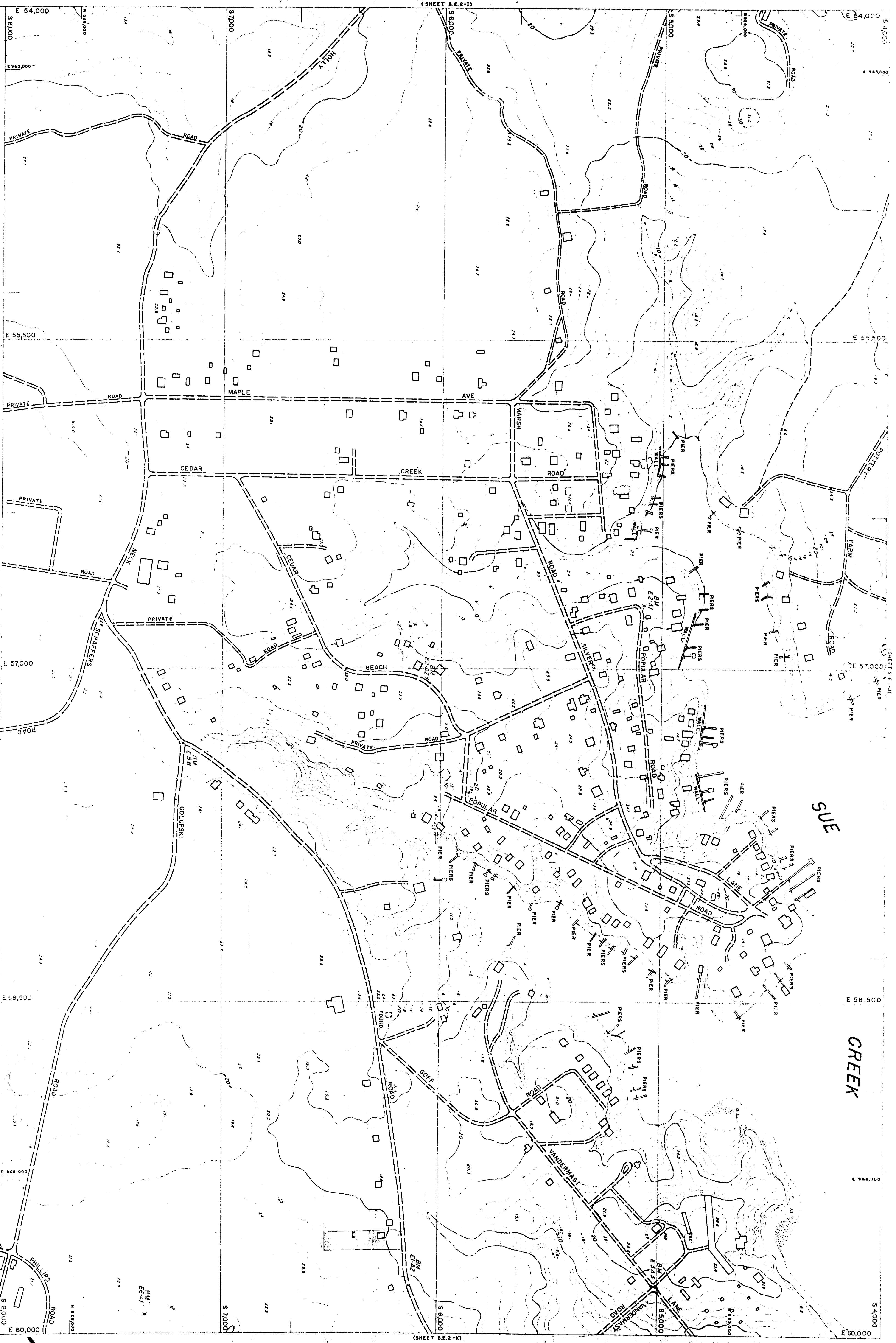
Scale 1" = 2000'

PHOTOGRAMMETRIC MAP OF
BALTIMORE COUNTY METROPOLITAN AREA

REVISIONS		SCALE	LOCATION	SHEET
BY	DATE			
		1" = 200'	HOLLY NECK	SE 2-J
Topography Compiled By Photogrammetric Methods AERIAL SURVEY CORP. LANSING, MICH.				

97-111-A

MICROFILMED



17" 11" 8.5" 11" 17" 22"



118

BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING
PHOTOGRAPHIC MAP

SCALE
1" = 200' ±

LOCATION

SHEET

DATE
OF
PHOTOGRAPHY
JANUARY
1986

HOLLY NECK
99-III-A

S.E.
2-J
MICROFILMED

IN RE: PETITION FOR ADMIN. VARIANCE
S/S Holly Neck Road, E of the
c/l of Goff Road
(2229 Holly Neck Road)
15th Election District
5th Councilmanic District
Darrell K. Lambert, et ux
Petitioners
* BEFORE THE
* DEPUTY ZONING COMMISSIONER
* OF BALTIMORE COUNTY
* Case No. 97-111-A
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with the B.C.Z.R. would result in practical difficulty and/or unreasonable hardship upon the Petitioners.

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- 1) The Petitioners may apply for their building permit and be granted same upon receipt of this Order; however, Petitioners are hereby made aware that proceeding at this time is at their own risk until such time as the 30-day appellate process from this Order has expired. If, for whatever reason, this Order is reversed, the relief granted herein shall be rescinded.
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- 2 -

3) When applying for a building permit, the site plan filed must reference this case and set forth and address the restrictions of this Order.

TMK:bjs

TIMOTHY M. KOTROCO
Deputy Zoning Commissioner
for Baltimore County



Baltimore County
Zoning Commissioner
Office of Planning and Zoning

Suite 112, Courthouse
400 Washington Avenue
Towson, Maryland 21204
(410) 887-4386

October 14, 1996

Mr. & Mrs. Darrell K. Lambert
2229 Holly Neck Road
Baltimore, Maryland 21221

RE: PETITION FOR ADMINISTRATIVE VARIANCE
S/S Holly Neck Road, E of the c/l of Goff Road
(2229 Holly Neck Road)
15th Election District - 5th Councilmanic District
Darrell K. Lambert, et ux - Petitioners
Case No. 97-111-A

Dear Mr. & Mrs. Lambert:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petition for Administrative Variance has been granted in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Permits and Development Management Office at 887-3391.

Very truly yours,

TIMOTHY M. KOTROCO
Deputy Zoning Commissioner
for Baltimore County

TMK:bjs

cc: Chesapeake Bay Critical Areas Commission
45 Calvert Street, 2nd Floor, Annapolis, Md. 21401

DEPRM; People's Counsel

File



Petition for Administrative Variance 97-111-A to the Zoning Commissioner of Baltimore County for the property located at 2229 Holly Neck Rd, Baltimore 21221 which is presently zoned R.C. 5

This Petition shall be filed with the Office of Zoning Administration & Development Management. The undersigned, local owner of the property situated in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section(s) 1A04.3.B.3.

To allow a side yard setback of 26 ft. (for a proposed addition) in lieu of the minimum required 50 ft.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County, for the following reasons: (indicate hardship or practical difficulty)
SEE ATTACHED LETTER

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or my agent, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

We do solemnly swear and affirm, under the penalties of perjury, that we are the legal owners of the property which is the subject of this Petition.

Contact Person(s):

Legal Owner(s):

(Type or Print Name)

(Type or Print Name)

Signature

Signature

Address

Address

City

City

State

State

Zip

Zip

Phone No.

Phone No.

Size

Size

By

By

Date

Date

REVIEWED BY

REVIEWED BY

ESTIMATED POSTING DATE

ESTIMATED POSTING DATE

ITEM #

Affidavit in support of 97-111-A Administrative Variance

The undersigned hereby affirms under the penalties of perjury to the Zoning Commissioner of Baltimore County, as follows:

That the information herein given is within the personal knowledge of the Affiant(s) and that Affiant(s) were competent to testify thereto in the event that a public hearing is scheduled in the future with regard thereto.

That the Affiant(s) presently reside at 2229 Holly Neck Rd, Baltimore, MD 21221

That based upon personal knowledge, the following are the facts upon which I base the request for an Administrative Variance at the above address: (indicate reason or reasons therefor)

See Attached Letter

That Affiant(s) acknowledge(s) that if a protest is filed, Affiant(s) will be required to pay a reposting and advertising fee and may be required to provide additional information.

Alice C. Weber
Darrell K. Lambert
Darrell K. Lambert

STATE OF MARYLAND, COUNTY OF BALTIMORE, to-wit:

I HEREBY CERTIFY, this 31st day of AUGUST, 1996, before me, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared

DARRELL K. LAMBERT and ALICE C. LAMBERT (nee WEBER)

the Affiant(s) herein, personally known or satisfactorily identified to me as such Affiant(s), and made oath in due form of law that the matters and facts hereinabove set forth are true and correct to the best of his/her knowledge and belief.

AS WITNESS my hand and Notarial Seal.

9/31/96

My Commission Expires: 5/1/98

August 31, 1996

TO WHOM IT MAY CONCERN:

We have lived in our home since 1988. When we purchased our home, which is 711 sq ft, we planned to add on at a later time when we were financially able.

We now have a 3 year old daughter who lives with us and a 12 year old niece whom we help to raise. We have a small living room, kitchen, 1 bathroom, 1 bedroom home on a 1 acre lot. It does not have an attic or basement for additional space. Our daughter shares a bedroom with us and when our niece stays with us, she sleeps on the sofa bed in the living room. We all need some extra space and privacy. Also in the near future when we have more room, we are planning to have more children.

We love our neighborhood and this is where we choose to raise our family. Both of our extended families live close by. Our neighbors are wonderful people and our children play together everyday. This is where we plan to stay and raise our family and this is also the reason for the variance request.

Although we have a acre of land, our home is situated on the front of our lot. The front half of our lot is smaller in width and we are in need of a 26 foot variance from the east side of our property line. To best utilize the layout of our existing home and the location of the house on our lot, makes it most practical to add on to the house at this location. We ask for your thoughtful consideration in this matter and we thank you for taking the time to read this letter.

Sincerely yours,

Alice C. Lambert (nee Weber)

ORDER RECEIVED FOR FILING
Date 9/14/96
By [Signature]

118

Zoning Description

Zoning Description for 2229 Hollyneck Road; Baltimore, MD 21221.

Beginning at a point on the South side of Hollyneck Road which is 60 ft. of right-of-way width wide at the distance of 717 feet east of the centerline of the nearest improved intersecting street - Goff Road, which is 50 ft wide. Being lot #2 in the subdivision of Walter Iron Property as recorded in Baltimore County Deed, Liber #6173, Folio #088, containing 1 acre. Also known as 2229 Hollyneck Road and located in the 15 Election District, 5 Councilmanic District.

97-111-A

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

DATE: 9-13-96 ACCOUNT: R-001-6150

RECEIVED FROM: Weber & Lambert, Owners

AMOUNT: \$ 85.00

FOR: Sign & Posting

Site: 2229 Holly Neck Rd

996 cert.doc

CERTIFICATE OF POSTING

RE: Case No.: 97-111-A
Petitioner/Developer: Alice
Weber & Darrell Lambert
Date of Hearing/Closing: 10-20-96

Baltimore County Department of
Permits and Development Management
County Office Building, Room 111
111 West Chesapeake Avenue
Towson, MD 21204

Attention: Ms. Gwendolyn Stephens

Ladies and Gentlemen:

This letter is to certify under the penalties of perjury that the necessary sign(s) required by law were posted conspicuously on the property located at

2229 Holly Neck Rd

The sign(s) were posted on

(Month, Day, Year)

Sincerely,

(Signature of Sign Poster and Date)

Mark Gavel
(Printed Name)

(Address)

(City, State, Zip Code)

X 3351

(Telephone Number)



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

September 25, 1996

NOTICE OF CASE NUMBER ASSIGNMENT

Re: CASE NUMBER: 97-111-A (Item 118)
2229 Holly Neck Road
5/8 Holly Neck Road, E of c/l Goff Road
19th Election District - 5th Councilmanic
Legal Owner(s): Alice C. Weber and Darrell K. Lambert

Please be advised that your Petition for Administrative Zoning Variance has been assigned the above case number. Contact made with this office regarding the status of this case should reference the case number and be directed to 887-3351. This notice also serves as a refresher regarding the administrative process.

1) Your property will be posted on or before September 22, 1996. The closing date (October 7, 1996) is the deadline for a neighbor to file a formal request for a public hearing. After the closing date, the file will be reviewed by the Zoning or Deputy Zoning Commissioner. They may (a) grant the requested relief, (b) deny the requested relief, or (c) demand that the matter be set in for a public hearing. You will receive written notification as to whether or not your petition has been granted, denied, or will go to public hearing.

2) In cases requiring public hearing (whether due to a neighbor's formal request or by Order of the Commissioner), the property will be reported and notice of the hearing will appear in a Baltimore County newspaper. Charges related to the reporting and newspaper advertising are payable by the petitioner(s).

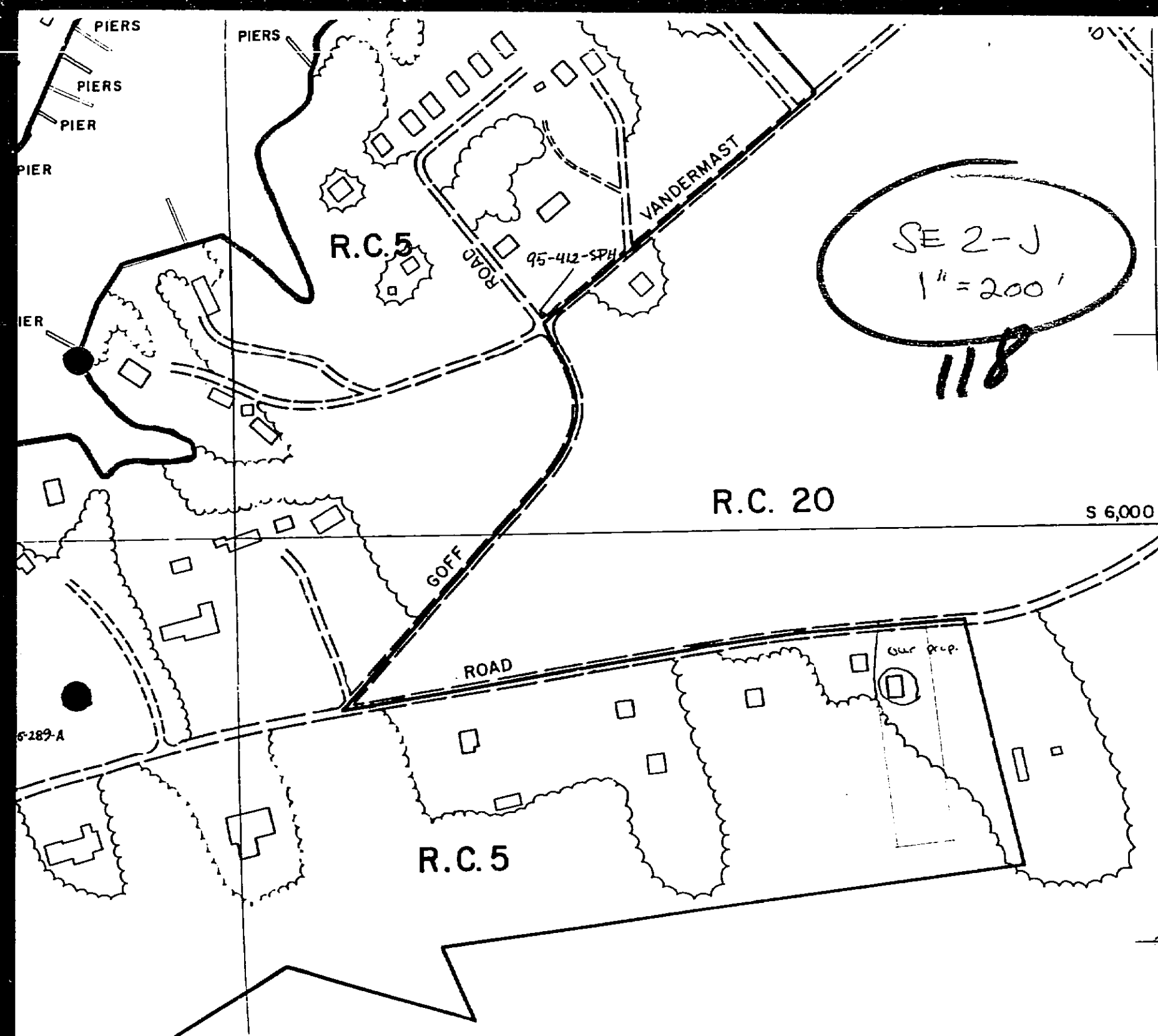
3) Please be advised that you must return the sign and post to this office. They may be returned after the closing date. Failure to return the sign and post will result in a \$60.00 charge.

PLEASE UNDERSTAND THAT ON THE DATE AFTER THE POSTING PERIOD, THE PROCESS IS NOT COMPLETE. THE FILE MUST GO THROUGH FINAL REVIEW. ORDERS ARE NOT AVAILABLE FOR DISTRIBUTION VIA PICK-UP. WHEN READY, THE ORDER WILL BE FORWARDED TO YOU VIA FIRST CLASS MAIL.

Carl J. Jahn

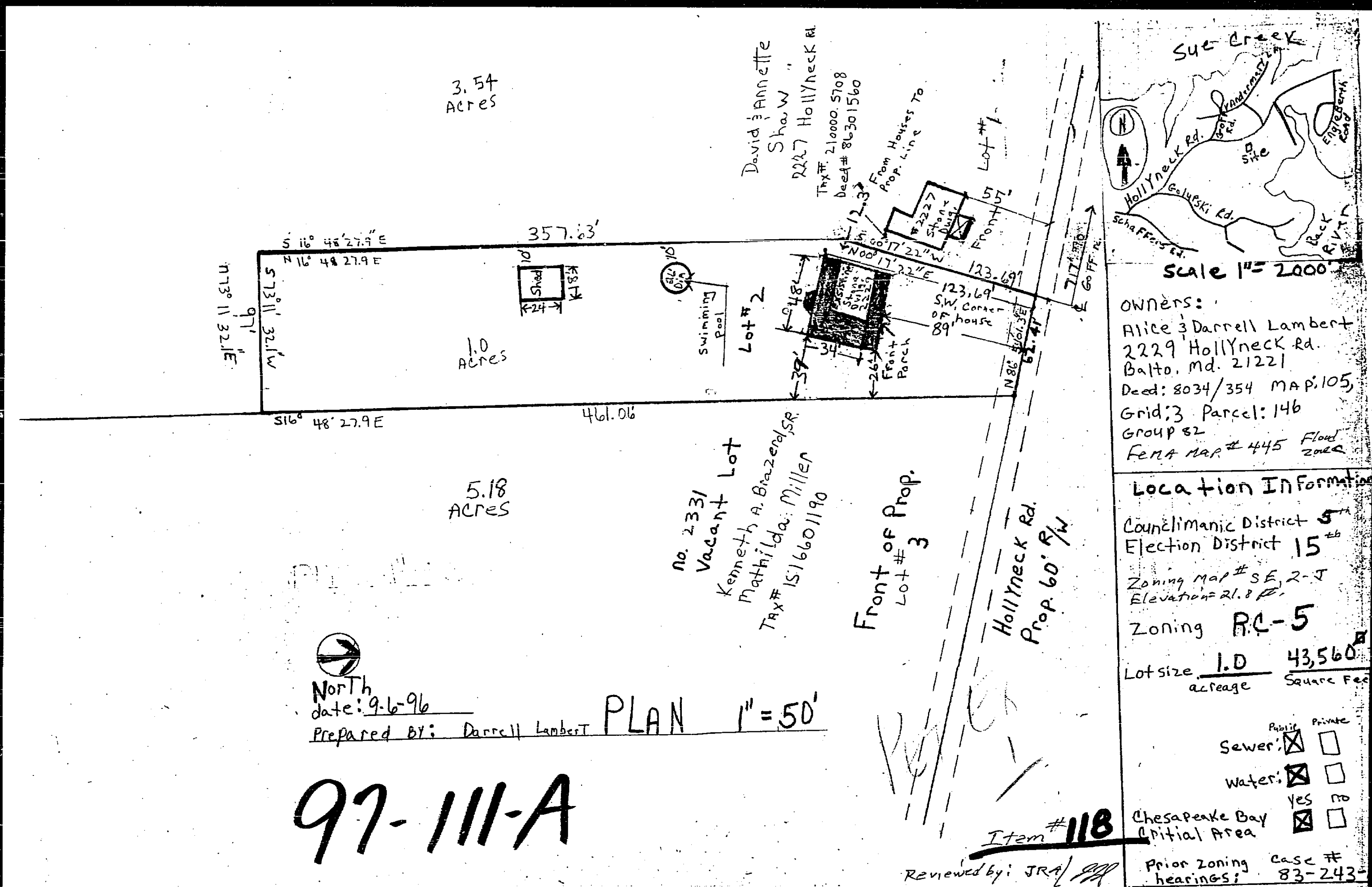
Arnold Jablon
Director

cc: Alice C. Weber Lambert



Zoning map

97-111-A



FILE LETTER 379954

DATE: 9-27-96

TWIN CHECK

NAME: Lambert, Alice

ADDRESS: 576.205

CITY: PHONE

TIME IN: TIME PROMISED 10

KODAK FILM KONICA 3M OTHER SLIDES MOVIES

800

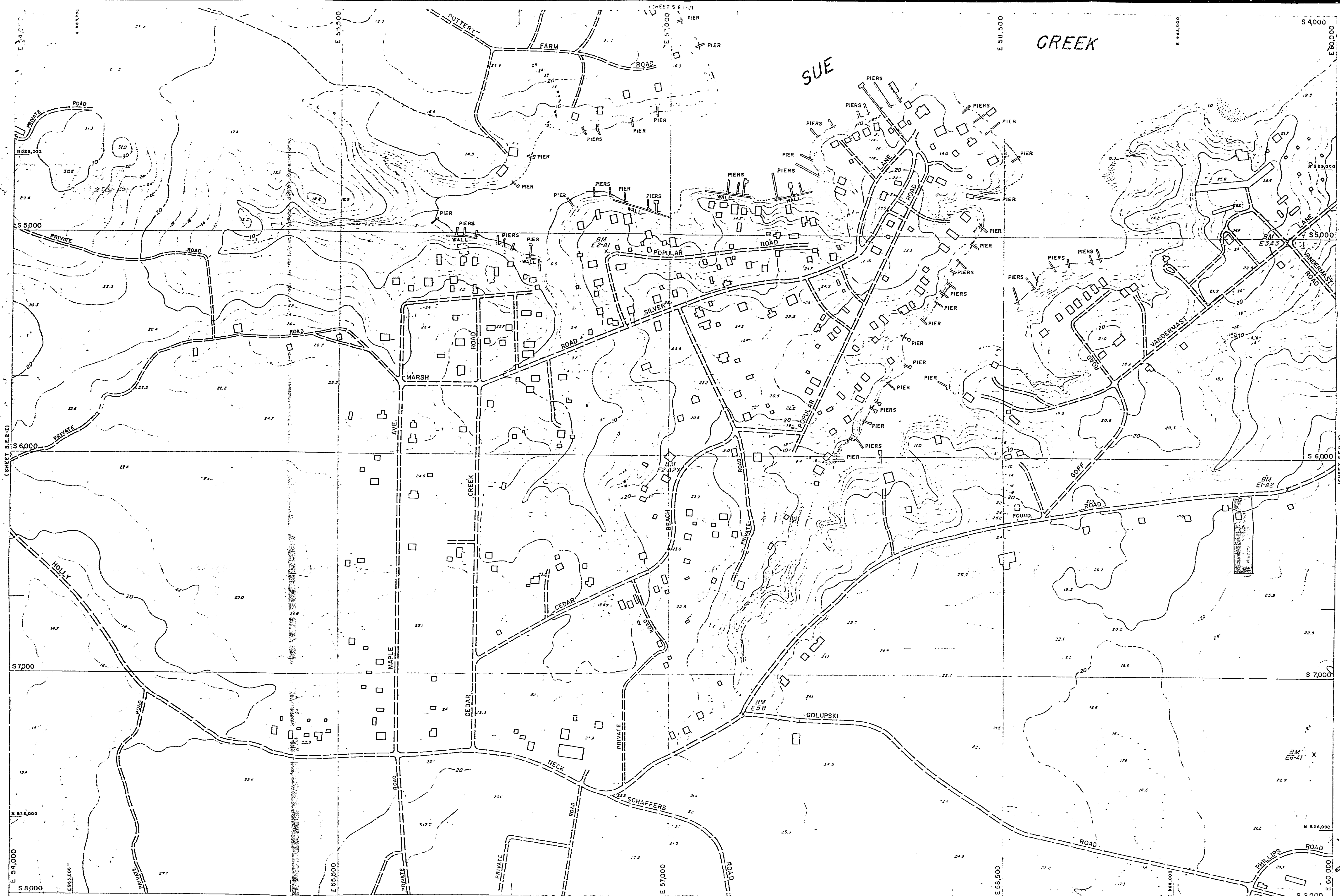
FILM SIZE	EXPOSURES	REPRINTS AND ENLARGEMENTS
DISC	10	10
135	20	20
35	24	24
35	36	36
OTHER	OTHER	OTHER

SPECIAL INSTRUCTIONS

37 3

379954







118

BALTIMORE COUNTY
OFFICE OF PLANNING AND ZONING
PHOTOGRAPHIC MAP

PREPARED BY AIR PHOTOGRAPHICS, INC.
MARTINSBURG, W.V. 25401

SCALE
1" = 200' ±

LOCATION

SHEET

DATE
OF
PHOTOGRAPHY
JANUARY
1986

HOLLY NECK

97-111-A

S 2
2-J